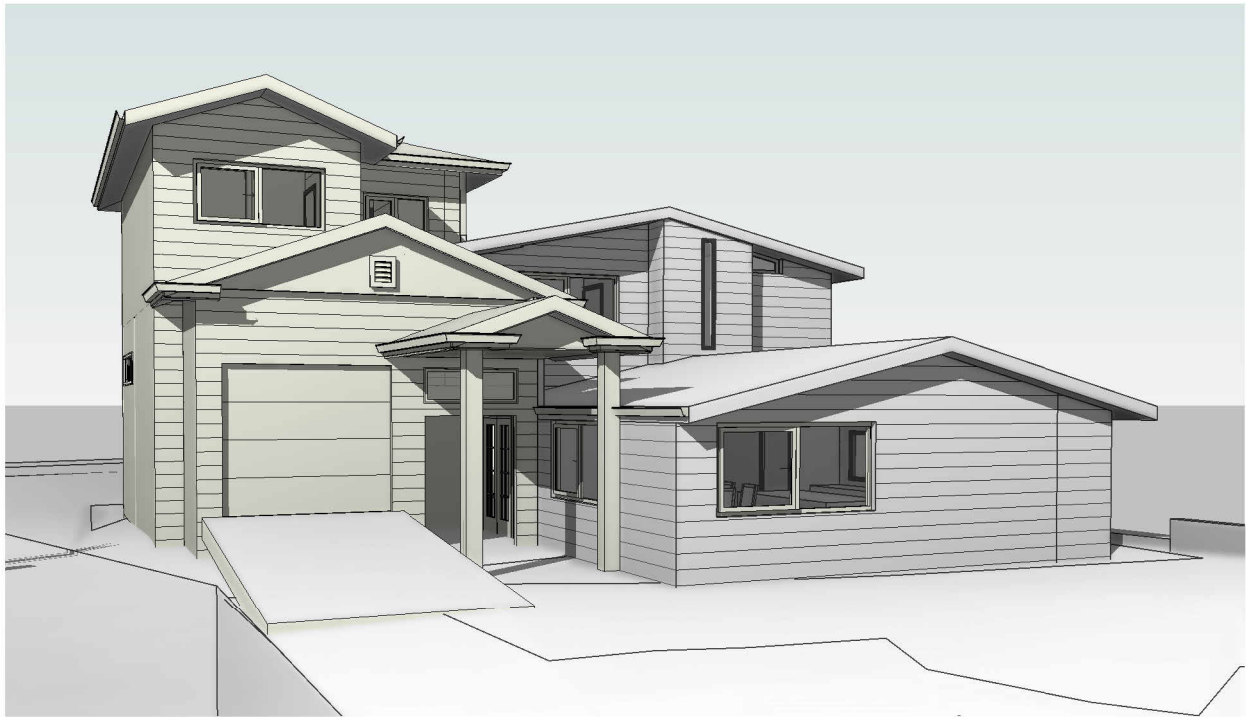


PROPOSED ALTERATIONS AND ADDITIONS
6 LAMSON PL GREENACRE 2190
LOT 6 / DP 224409 /

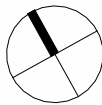


DRAWING LIST		
DRAWING NUMBER	DRAWING NAME	CURRENT REVISION
A 001	COVER PAGE	03
A 002	SPECIFICATIONS AND NOTES	03
A 003	SITE ANALYSIS	03
A 004	SITE COMPLIANCE	03
A 051	DEMOLITION GROUND FLOOR PLAN	03
A 052	DEMOLITION FIRST FLOOR PLAN	03
A 101	SITE/GROUND FLOOR	03
A 102	ROOF PLAN	03
A 103	GROUND FLOOR	03
A 104	FIRST FLOOR	03
A 201	ELEVATIONS	03
A 202	ELEVATIONS	03
A 203	SECTION	03
A 204	SHADOW DIAGRAMS	03
A 205	STREETSCAPE ELEVATION	03
A 301	WINDOW/DOOR SCHEDULE	03
A 401	NOTIFICATION PLAN	03

SITE CALCULATIONS AS PER DCP

TOTAL SITE AREA:	853.60 m²
MINIMUM REQUIRED FRONT LANDSCAPED AREA:	45.00% 47.17 m²
TOTAL PROPOSED FRONT LANDSCAPED AREA:	48.14% 50.46 m²
TOTAL PROPOSED REAR LANDSCAPED AREA:	334.71 m²
MINIMUM REQUIRED PRIVATE OPEN SPACE:	80.00 m²
TOTAL PROPOSED PRIVATE OPEN SPACE:	334.71 m²
MAXIMUM PERMISSIBLE FLOOR SPACE RATIO:	0.5:1 426.80 m²
TOTAL PROPOSED FLOOR SPACE RATIO:	0.28:1 242.66 m²
MAXIMUM PERMISSIBLE GFA:	426.80 m²
PROPOSED GROUND FLOOR GFA:	151.69 m²
PROPOSED FIRST FLOOR GFA:	90.97 m²
TOTAL PROPOSED GFA:	242.66 m²

TRUE NORTH:



DESIGN FORMATION
ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF
NSW REGO: 11535

CONTACT:

A: 203/25-27 GROSE ST
PARRAMATTA NSW 2150
M: +61 422 566 912
E: GEORGE@DESIGNFORMATION.COM.AU

03	DEVELOPMENT APPLICATION ISSUE	01-05-2024
02	ISSUE FOR COORDINATION	21-02-2024
01	CONCEPT SKETCH	11-12-2023
ISSUE	AMENDMENT	DATE

PROJECT STATUS:

**ISSUED FOR DEVELOPMENT
APPLICATION**

PREPARED FOR:

PETER KAYROUZ

PROJECT TYPE:

ALTERATIONS & ADDITIONS

PROJECT ADDRESS:

6 LAMSON PL
GREENACRE 2190
LOT 6 / DP 224409 /

SHEET TITLE:

COVER PAGE

SHEET NO: A 001

PROJECT NO:

932

REV NO:

03

DRAWN BY:

AAD

CHECKED BY:

GY

GENERAL DEVELOPMENT NOTES:

1. POWDER COATED ALUMINIUM GUTTERS & DOWNPIPES. STORMWATER TO DISCHARGE TO STREET - REFER TO HYDRAULIC ENGINEERS PLANS (CLIENT TO DECIDE ON COLOURS & FINISHES).
2. POWDER-COATED ALUMINIUM FRAMED GLASS WINDOWS & SLIDING DOORS (CLIENT TO DECIDE ON COLOURS & FINISHES).
3. DEMOLITION & EXCAVATION TO BE CARRIED OUT BY LICENSED CONTRACTORS. FOR SEDIMENT FENCING DETAILS REFER TO 'SITE MANAGEMENT & SEDIMENT CONTROL PLAN'.
4. THE DEVELOPMENT HAS BEEN DESIGNED TO BEST MEET THE GUIDELINES OF COUNCIL & THE B.C.A (ALL WORK ON SITE SHALL SIMILARLY BE CARRIED OUT TO ADHERE TO THE REQUIREMENTS OF LOCAL COUNCIL AND THE B.C.A).
5. ALL PORCH'S, GARAGES, VERANDAHS, BALCONIES & THE LIKE TO HAVE A MINIMUM 85mm STEPDOWN. (ENGINEERS DETAILS TO SUPERCEED).
6. BITUMOUS MASONRY ARTICULATION JOINTS ON UNARTICULATED WALLS WITH LENGTHS GREATER THAN 6m TO BE LOCATED BEHIND DOWNPIPE LOCATIONS WHERE PRACTICAL.
7. ALL BALUSTRADES TO BE A MINIMUM 1000mm ABOVE FINISHED FLOOR LEVEL RAILS TO BE SPACED SO AS TO PREVENT A 125mm SPHERE PENETRATING THROUGH.
8. BALCONIES TO BE SUITABLY WATERPROOFED & GRADED TO SUIT THE REQUIREMENTS OF THE B.C.A.
9. ALL BATHROOM, ENSUITES, LAUNDRIES AND BALCONIES (ENCLOSED) TO HAVE FLOOR WASTES, BE SETDOWN AND WATERPROOFED.
10. LAND TO BATTER AS SHOWN WITH A SOLID GROUND LINE (EXISTING GROUND LEVELS SHOWN DASHED) MAXIMUM BATTER ON STABLE GROUND NOT TO EXCEED 1 IN 4 (IN WHICH CASE RETAINING WALLS ARE TO BE INCORPORATED - TO ENGINEERS SPECIFICATIONS).

GENERAL CONSTRUCTION NOTES:

1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANT'S DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE CONTRACT ALL DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
2. ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE WORK SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION AND FABRICATION IS COMMENCED. THE ARCHITECTURAL DRAWINGS SHALL NOT BE SCALED.
3. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURE IN A STABLE CONDITION AND ENSURING NO PART SHALL BE OVERSTRESSED UNDER CONSTRUCTION ACTIVITIES. TEMPORARY BRACING SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED.
4. ALL WORKMANSHIP AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT CURRENT S.A.A. CODES INCLUDING ALL AMENDMENTS, AND THE LOCAL STATUTORY AUTHORITIES, REGULATIONS, ETC., EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
5. THE APPROVAL OF A SUBSTITUTION SHALL BE SOUGHT FROM THE ENGINEER,BUT IS NOT AN AUTHORISATION FOR AN EXTRA. ANY EXTRA INVOLVED MUST BE VERIFIED WITH THE ARCHITECT BEFORE THE WORK COMMENCES.
6. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. ALL LEVELS ARE EXPRESSED IN METRES TO AHD.
7. SETTING-OUT DIMENSIONS AND SIZES OF STRUCTURAL MEMBERS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS. ANY SETTING-OUT DIMENSIONS SHOWN IN THE STRUCTURAL DRAWINGS SHALL BE CHECKED BY THE CONTRACTOR BEFORE CONSTRUCTION COMMENCES.

SCHEDULE OF AUSTRALIAN STANDARD TO BE FOLLOWED:

1. AS 1288 - GLASS IN BUILDINGS, SELECTION & INSTALLATION.
2. AS/NZS 1170 - STRUCTURAL DESIGN ACTIONS.
3. AS 1562 - DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING, METAL.
4. AS/NZS - DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING, CORRUGATED FIRBE-REINFORCED CEMENT & PLASTICS.
5. AS 1668 - THE USE OF MECHANICAL VENTILATION & AIR CONDITIONING IN BUILDINGS.
6. AS/NZS 1680 - INTERIOR LIGHTING & SAFE MOVEMENT
7. AS 1684 - RESIDENTIAL TIMBER-FRAMED CONSTRUCTION.
8. AS 1926 - SWIMMING POOL SAFETY.
9. AS 2047 - WINDOWS IN BUILDINGS, SELECTION & INSTALLATION.
10. AS 2049 - ROOF TILES.
11. AS 2050 - INSTALLATION OF ROOF TILES.
12. AS/NZS 2269 - PLYWOOD, STRUCTURAL SPECIFICATIONS.
13. AS 2870 - RESIDENTIAL SLABS & FOOTINGS CONSTRUCTION.
14. AS/NZS 2904 - DAMP-PROOF COURSES & FLASHINGS.
15. AS/NZS 3500 - PLUMBING & DRAINAGE, STORMWATER DRAINAGE, HEATED SERVICES & DOMESTIC INSTALLATIONS.
16. AS 3600 - CONCRETE STRUCTURES.
17. AS 3660 - TERMITE MANAGEMENT.
18. AS 3700 - MASONRY STRUCTURES.
19. AS 3740 - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.
20. AS 3786 - SMOKE ALARMS.
21. AS 3959 - CONSTRUCTION OF BUILDINGS IN BUSHFIRE-PRONE AREAS.
22. AS 4055 - WIND LOADS FOR HOUSING.
23. AS 4100 - STEEL STRUCTURES.
24. AS/NZS 4200 - PLIABLE BUILDING MEMBRANES & UNDERLAYS, MATERIALS & INSTALLATION REQUIREMENTS.
25. AS 4254 - DUCKWORK FOR AIR-HANDLING SYSTEMS IN BUILDINGS.
26. AS/NZS - 4600 - COLD-FORMED STEEL STRUCTURES.
27. AS 4773 - MASONRY FOR SMALL BUILDINGS, DESIGN & CONSTRUCTION.
28. AS/NZS 4858 - WET AREA MEMBRANES.

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A1745685

This certificate confirms that the proposed development will meet the NSW governments requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 01 May 2024
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



BASIX Certificate number A1745685

page 1/8

Project address	
Project name	8 LAMSON PL GREENACRE
Street address	8 LAMSON Place GREENACRE 2190
Local Government Area	Canterbury-Bankstown Council
Plan type and number	Deposited Plan DP224409
Lot number	8
Section number	N/A
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (see lot 8).
N/A	N/A
Certificate Prepared by	
(Please complete before submitting to Council or PCA)	
Name / Company Name: DESIGN FORMATION PTY LTD	
ABN (if applicable): 7316697241	

BASIX Certificate number A1745685

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Glazing requirements				Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.				✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:					✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.					✓	✓
Each window or glazed door with improved frames, or operable fire & glass, or double glazing, or laminated glazing, or tinted glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-values and SHGC may be substituted.					✓	✓
For projections described in millimetres, the leading edge of each awning, pergola, verandah or eaving must be no more than 800 mm above the head of the window or glazed door and no more than 2400 mm above the sill.				✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.					✓	✓
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.					✓	✓
Pergolas with fixed louvers must have louvers parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between louvers must not be more than 50 mm.					✓	✓

Planning Industry And Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number A1745685

page 2/8

Fixtures and systems		Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
Lighting			✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			✓	✓
Fixtures			✓	✓
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			✓	✓

Planning Industry And Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number A1745685

page 3/8

Construction		Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
Insulation requirements		✓	✓	✓
The applicant must construct the new or altered construction (Roofs, walls and ceiling/ceiling) in accordance with the specifications listed in the table below, except that (a) additional insulation is not required where the area of new construction is less than 2m2, (b) insulation specified is not required for parts of altered construction where insulation already exists.				
Construction	Additional insulation required (R-value)	Other specifications		
concrete slab on ground floor	nil	N/A		
suspended floor above garage, framed (R0.7)	nil	N/A		
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)			
internal wall shared with garage (weatherboard R0.30)	nil			
flat ceiling, pitched roof	ceiling: R2.02 (up), roof: full/blanketing	medium (solar absorptance 0.475 - 0.70)		

Planning Industry And Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number A1745685

page 5/8

Glazing requirements				Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W01	NE	2.42	0	0	awn/ verandah/ pergola/balcony >=650 mm	standard aluminium, single clear, or U-value 7.63, SHGC 0.75
W07	NE	1.44	0	0	external louver blind (fixed)	standard aluminium, single clear, or U-value 7.63, SHGC 0.75
W08	SE	1.8	0	0	none	standard aluminium, single clear, or U-value 7.63, SHGC 0.75
W09	SE	3.1	0	0	none	standard aluminium, single clear, or U-value 7.63, SHGC 0.75
W12	SE	0.99	0	0	awn/ verandah/ pergola/balcony >=650 mm	standard aluminium, single clear, or U-value 7.63, SHGC 0.75

Planning Industry And Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number A1745685

page 6/8

Glazing requirements				Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W11	SE	0.99	0	0	awn/ verandah/ pergola/balcony >=650 mm	standard aluminium, single clear, or U-value 7.63, SHGC 0.75
W10	SE	0.63	0	0	awn/ verandah/ pergola/balcony >=650 mm	standard aluminium, single clear, or U-value 7.63, SHGC 0.75
W04	SE	1.06	0	0	awn/ verandah/ pergola/balcony >=650 mm	standard aluminium, single clear, or U-value 7.63, SHGC 0.75
W03	SE	1.06	0	0	awn/ verandah/ pergola/balcony >=650 mm	standard aluminium, single clear, or U-value 7.63, SHGC 0.75
W02	NW	3	0	0	awn/ verandah/ pergola/balcony >=650 mm	aluminium, double Lo-Tinted gas, U-value 4.8, SHGC 0.33

Planning Industry And Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number A1745685

page 7/8

Glazing requirements						DA Plans	CC/DC Plans & specs	Check
Windows and glazed doors glazing requirements								
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type		
W09	NW	2.4	0	0	awn/ verandah/ pergola/balcony >=650 mm	aluminium, double Lo-Tinted gas, U-value 4.8, SHGC 0.33		
W08	NW	2	0	0	awn/ verandah/ pergola/balcony >=650 mm	aluminium, double Lo-Tinted gas, U-value 4.8, SHGC 0.33		
W13	NW	1.2	0	0	awn/ verandah/ pergola/balcony >=650 mm	aluminium, double Lo-Tinted gas, U-value 4.8, SHGC 0.33		

Planning Industry And Environment

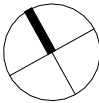
Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number A1745685

page 8/8

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/DC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

TRUE NORTH:



DESIGN FORMATION ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF
NSW REGO: 11535

CONTACT:

A: 203/25-27 GROSE ST
PARRAMATTA NSW 2150
M: +61 422 566 912
E: GEORGE@DESIGNFORMATION.COM.AU

03	DEVELOPMENT APPLICATION ISSUE	01-05-2024
02	ISSUE FOR COORDINATION	21-02-2024
01	CONCEPT SKETCH	11-12-2023

ISSUE	AMENDMENT	DATE
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PROJECT STATUS:

ISSUED FOR DEVELOPMENT APPLICATION

PREPARED FOR:

PETER KAYROUZ

PROJECT TYPE:

ALTERATIONS & ADDITIONS

PROJECT ADDRESS:

6 LAMSON PL
GREENACRE 2190
LOT 6 / DP 224409 /

SHEET TITLE:

SPECIFICATIONS AND NOTES

SHEET NO: A 002

PROJECT NO:

932

REV NO:

03

DRAWN BY:

AAD

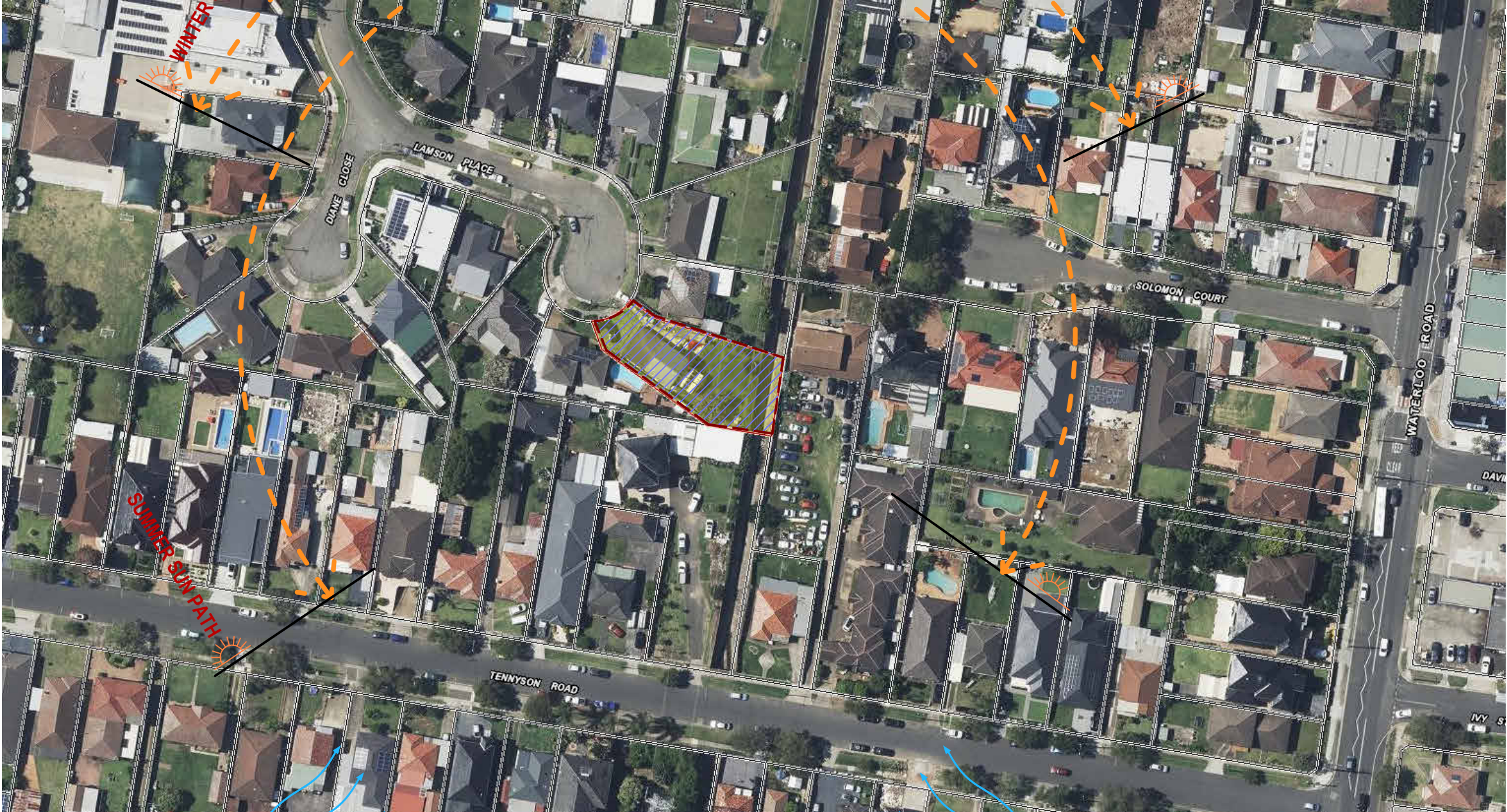
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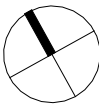


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BEFORE YOU DIG

SITE ANALYSIS



TRUE NORTH:



DESIGN FORMATION
ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF
NSW REGO: 11535

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PETER KAYROUZ

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ALTERATIONS & ADDITIONS

PROJECT ADDRESS:

6 LAMSON PL
GREENACRE 2190
LOT 6 / DP 224409 /

SHEET TITLE:

SITE ANALYSIS

SHEET NO: A 003

PROJECT NO:

932

REV NO:

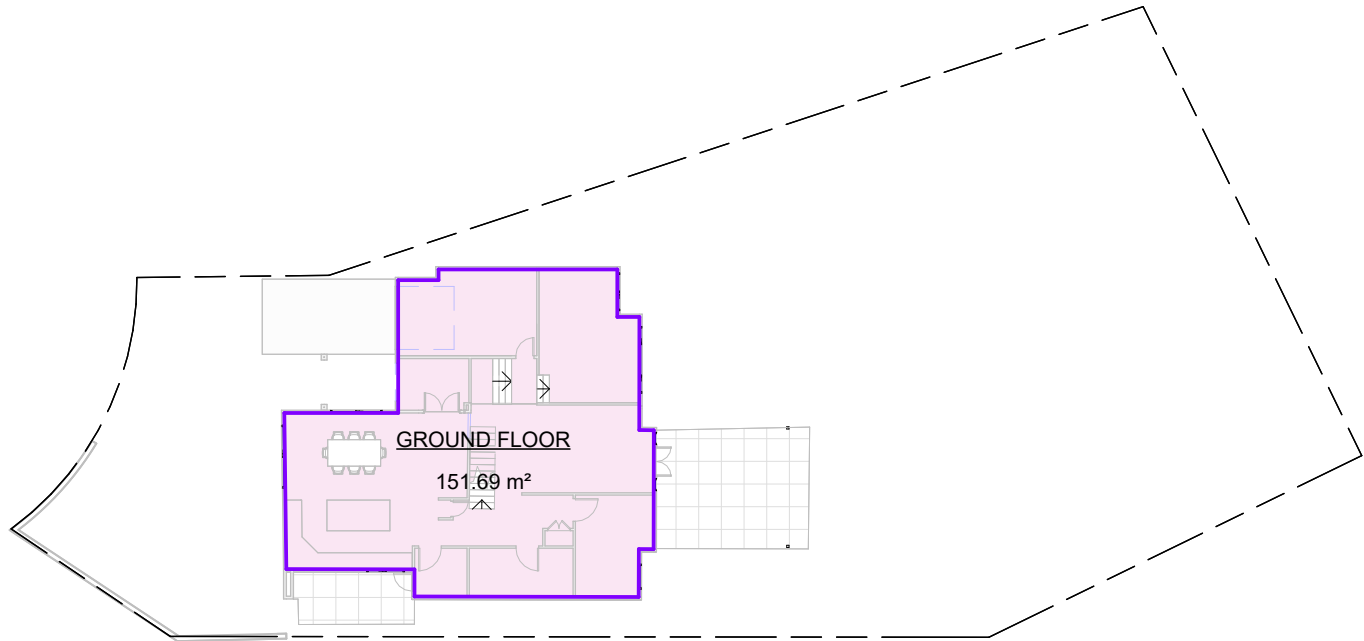
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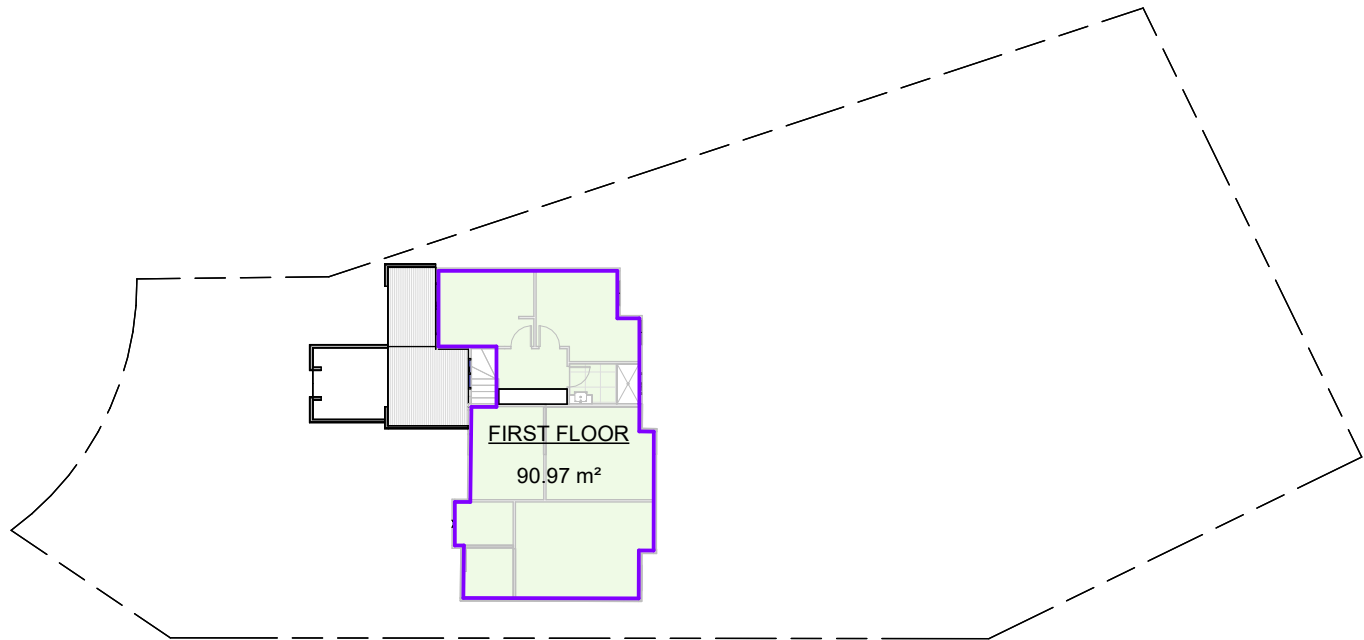
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GROUND FLOOR AREA DIAGRAM

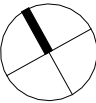


FIRST FLOOR AREA DIAGRAM

SITE CALCULATIONS AS PER DCP

TOTAL SITE AREA:	853.60 m²
MINIMUM REQUIRED FRONT LANDSCAPED AREA:	45.00% 47.17 m²
TOTAL PROPOSED FRONT LANDSCAPED AREA:	48.14% 50.46 m²
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TOTAL PROPOSED GFA:	242.66 m²

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ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF
NSW REGO: 11535

CONTACT:

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APPLICATION

PREPARED FOR:

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6 LAMSON PL
GREENACRE 2190
LOT 6 / DP 224409 /

SHEET TITLE:

SITE COMPLIANCE

SHEET NO: A 004

PROJECT NO:

932

REV NO:

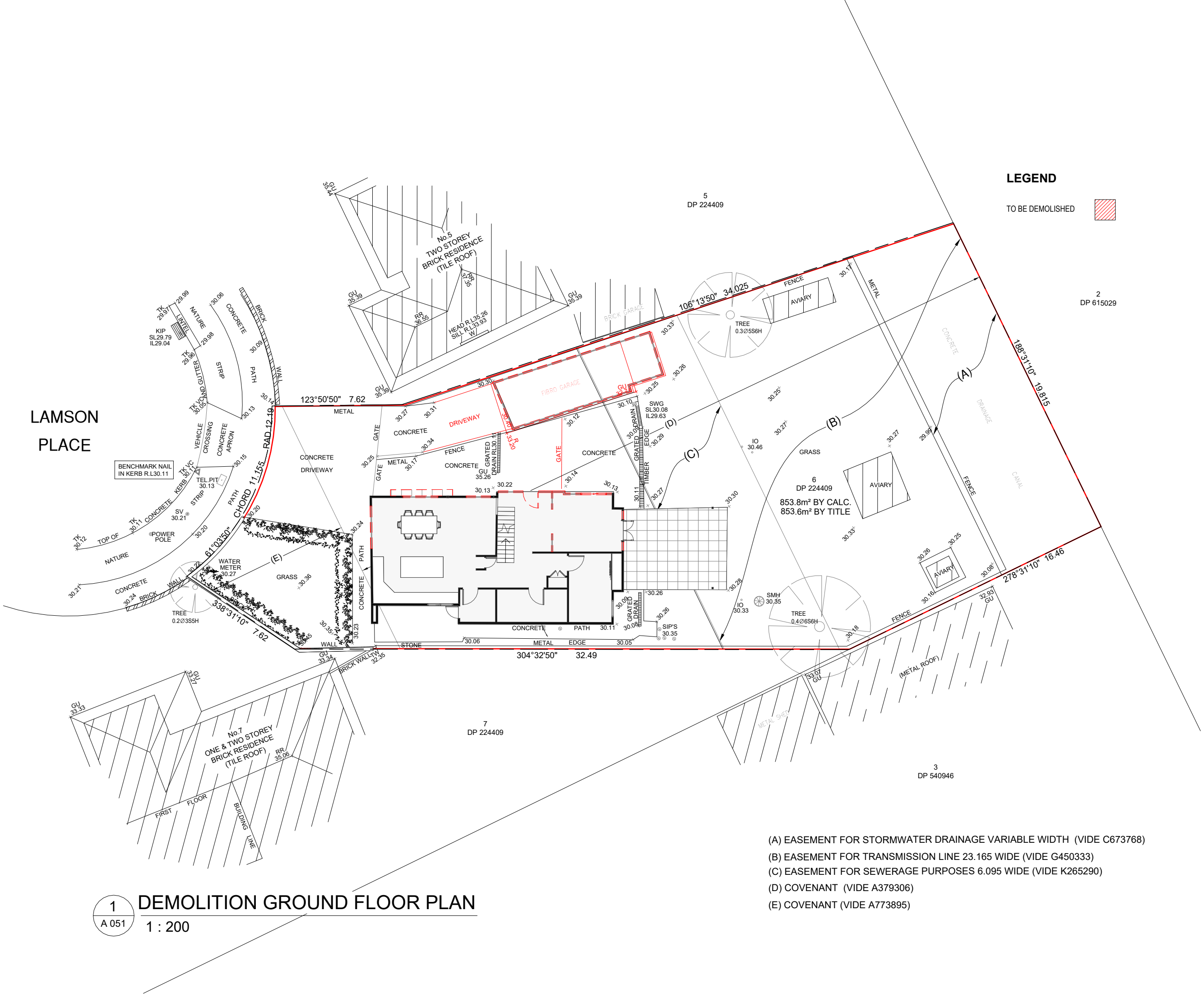
03

DRAWN BY:

AAD

CHECKED BY:

GY



TRUE NORTH:

DESIGN FORMATION ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF
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ALTERATIONS & ADDITIONS

PROJECT ADDRESS:
6 LAMSON PL
GREENACRE 2190
LOT 6 / DP 224409 /

SHEET TITLE:
DEMOLITION GROUND FLOOR PLAN

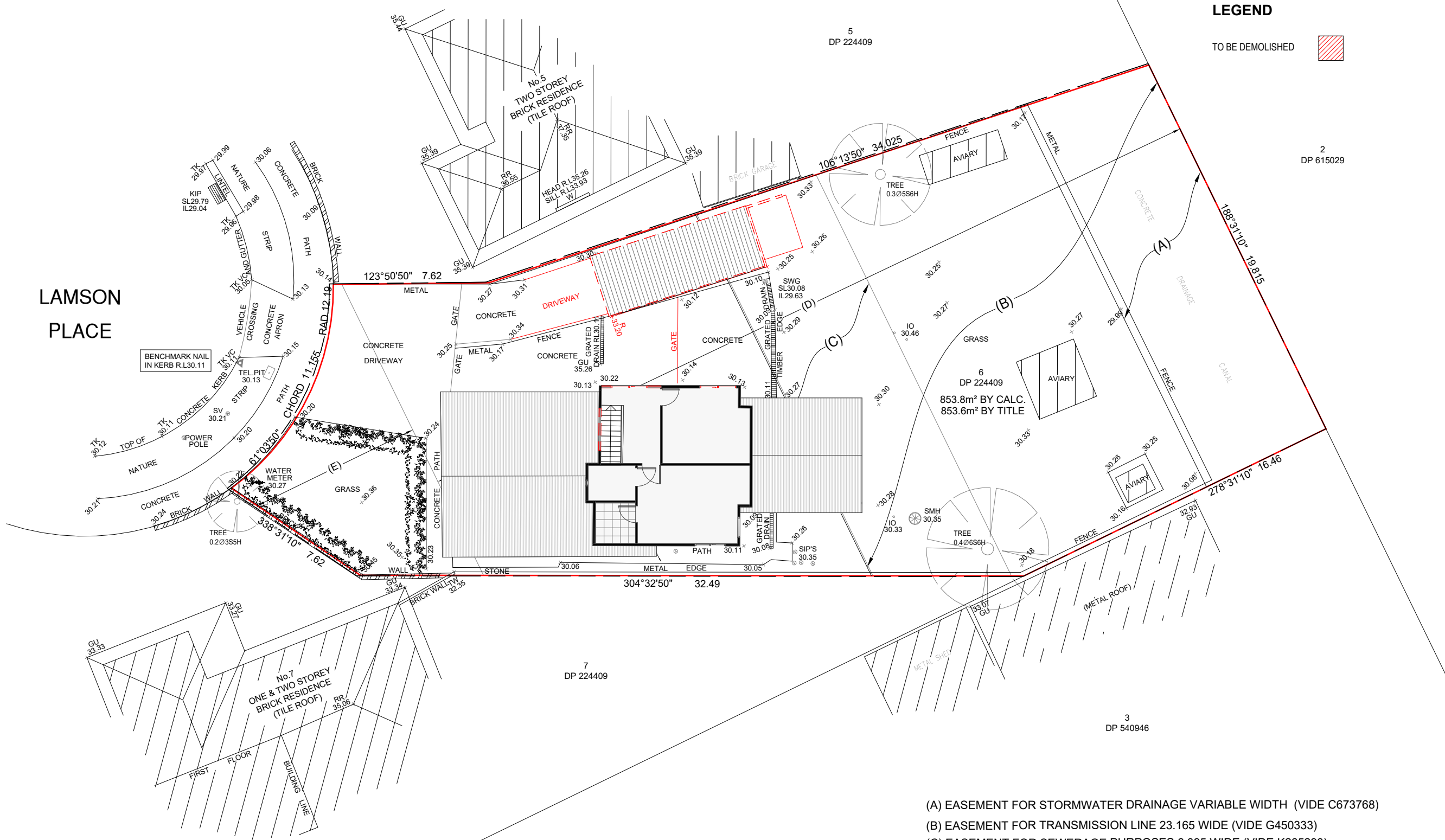
SHEET NO: A 051

PROJECT NO: 932	REV NO: 03
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DRAWN BY: AAD	CHECKED BY: GY
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1 DEMOLITION GROUND FLOOR PLAN
1 : 200

- (A) EASEMENT FOR STORMWATER DRAINAGE VARIABLE WIDTH (VIDE C673768)
(B) EASEMENT FOR TRANSMISSION LINE 23.165 WIDE (VIDE G450333)
(C) EASEMENT FOR SEWERAGE PURPOSES 6.095 WIDE (VIDE K265290)
(D) COVENANT (VIDE A379306)
(E) COVENANT (VIDE A773895)



TRUE NORTH:

DESIGN FORMATION ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF
NSW REGO: 11535

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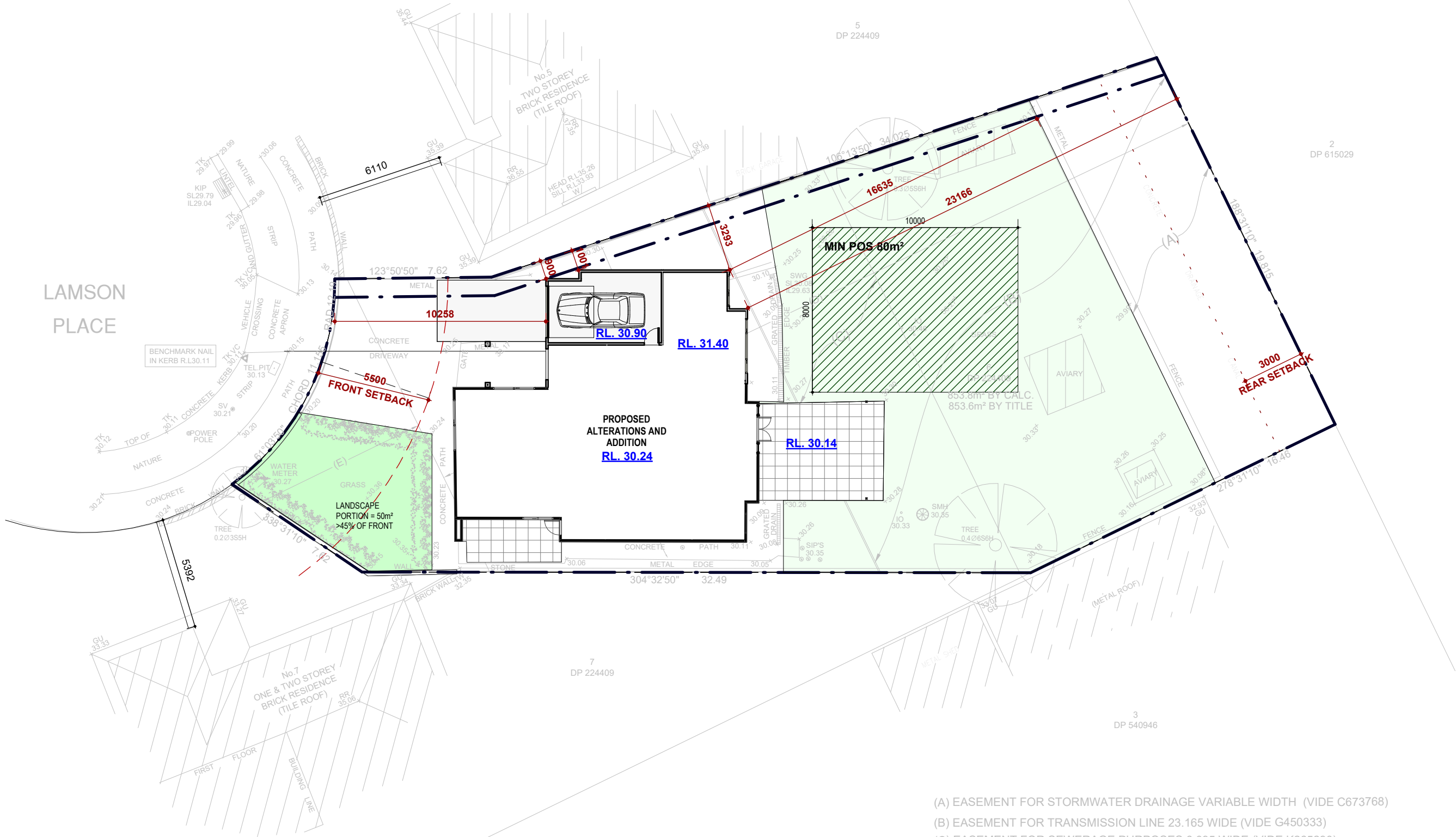
DEMOLITION FIRST FLOOR PLAN

SHEET NO: A 052

PROJECT NO: 932	REV NO: 03
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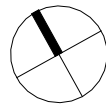
DRAWN BY: AAD	CHECKED BY: GY
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- (A) EASEMENT FOR STORMWATER DRAINAGE VARIABLE WIDTH (VIDE C673768)
(B) EASEMENT FOR TRANSMISSION LINE 23.165 WIDE (VIDE G450333)
(C) EASEMENT FOR SEWERAGE PURPOSES 6.095 WIDE (VIDE K265290)
(D) COVENANT (VIDE A379306)
(E) COVENANT (VIDE A773895)



(A) EASEMENT FOR STORMWATER DRAINAGE VARIABLE WIDTH (VIDE C673768)
(B) EASEMENT FOR TRANSMISSION LINE 23.165 WIDE (VIDE G450333)
(C) EASEMENT FOR SEWERAGE PURPOSES 6.095 WIDE (VIDE K265290)
(D) COVENANT (VIDE A379306)
(E) COVENANT (VIDE A773895)

TRUE NORTH:



DESIGN FORMATION
ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF
NSW REGO: 11535

CONTACT:

A: 203/25-27 GROSE ST
PARRAMATTA NSW 2150
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E: GEORGE@DESIGNFORMATION.COM.AU

ISSUE	AMENDMENT	DATE
03	DEVELOPMENT APPLICATION ISSUE	01-05-2024
02	ISSUE FOR COORDINATION	21-02-2024
01	CONCEPT SKETCH	11-12-2023

PROJECT STATUS:

**ISSUED FOR DEVELOPMENT
APPLICATION**

PREPARED FOR:

PETER KAYROUZ

PROJECT TYPE:

ALTERATIONS & ADDITIONS

PROJECT ADDRESS:

6 LAMSON PL
GREENACRE 2190
LOT 6 / DP 224409 /

SHEET TITLE:

SITE/GROUND FLOOR

SHEET NO: A 101

PROJECT NO:

932

REV NO:

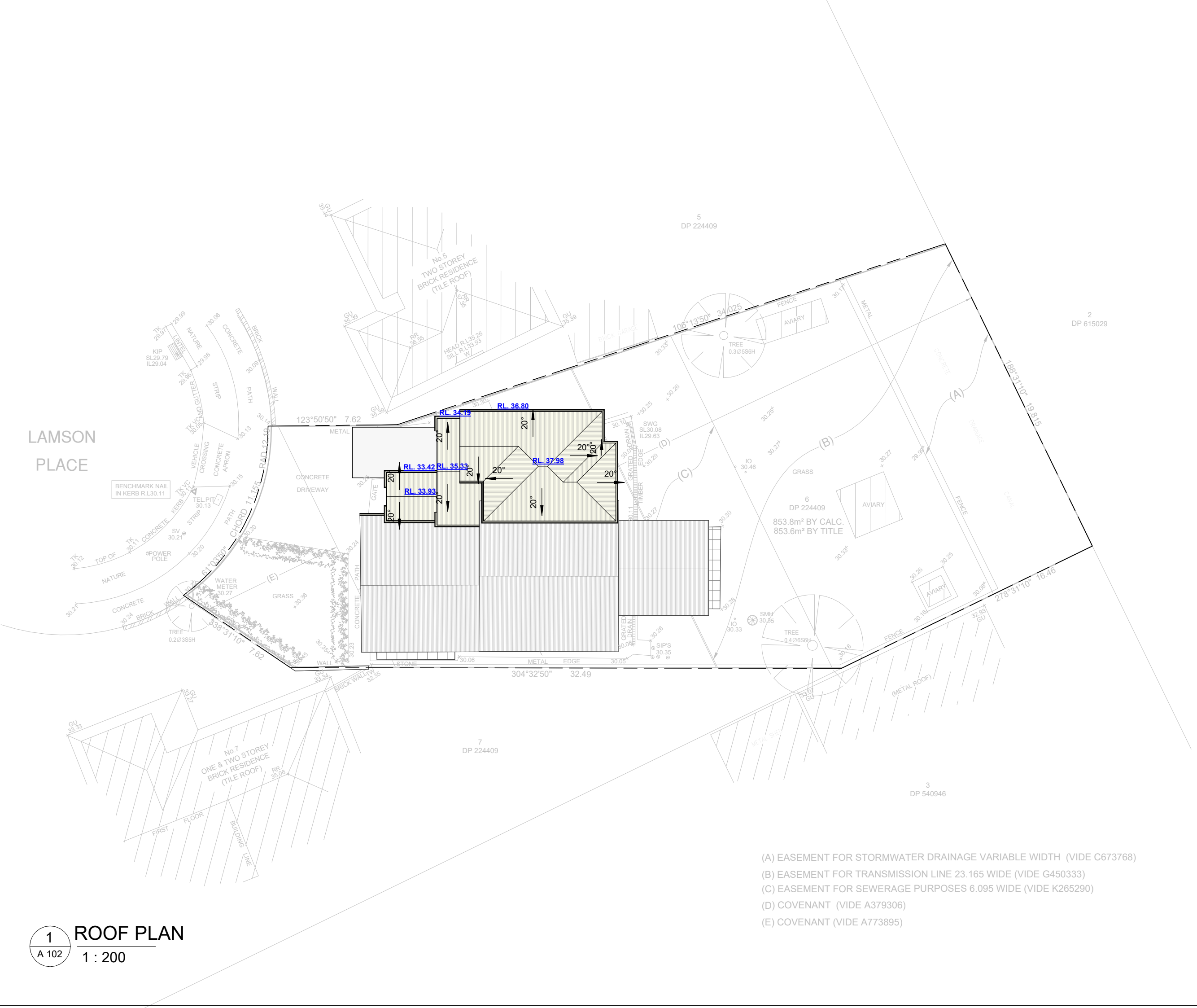
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DRAWN BY:

AAD

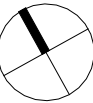
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(A) EASEMENT FOR STORMWATER DRAINAGE VARIABLE WIDTH (VIDE C673768)
(B) EASEMENT FOR TRANSMISSION LINE 23.165 WIDE (VIDE G450333)
(C) EASEMENT FOR SEWERAGE PURPOSES 6.095 WIDE (VIDE K265290)
(D) COVENANT (VIDE A379306)
(E) COVENANT (VIDE A773895)

TRUE NORTH:



DESIGN FORMATION
ARCHITECTS

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ISSUE	AMENDMENT	DATE

PROJECT STATUS:

**ISSUED FOR DEVELOPMENT
APPLICATION**

PREPARED FOR:

PETER KAYROUZ

PROJECT TYPE:

ALTERATIONS & ADDITIONS

PROJECT ADDRESS:

6 LAMSON PL
GREENACRE 2190
LOT 6 / DP 224409 /

SHEET TITLE:

ROOF PLAN

SHEET NO: A 102

PROJECT NO:

932

REV NO:

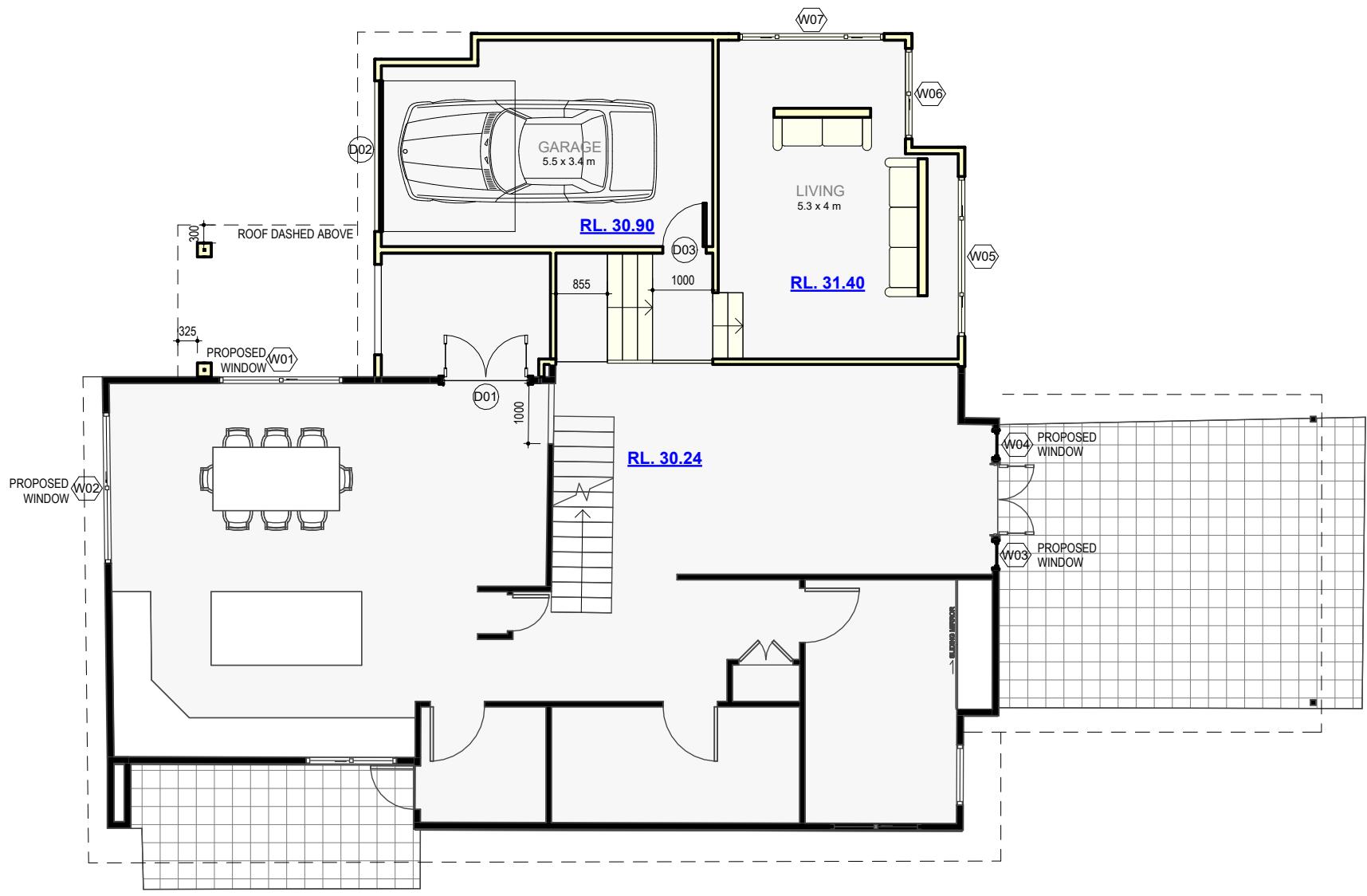
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DRAWN BY:

AAD

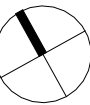
CHECKED BY:

GY



1 04-GROUND FLOOR
A 103 1 : 100

TRUE NORTH:



DESIGN FORMATION
ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF
NSW REGO: 11535

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PREPARED FOR:

PETER KAYROUZ

PROJECT TYPE:

ALTERATIONS & ADDITIONS

PROJECT ADDRESS:

6 LAMSON PL
GREENACRE 2190
LOT 6 / DP 224409 /

SHEET TITLE:

GROUND FLOOR

SHEET NO: A 103

PROJECT NO:

932

REV NO:

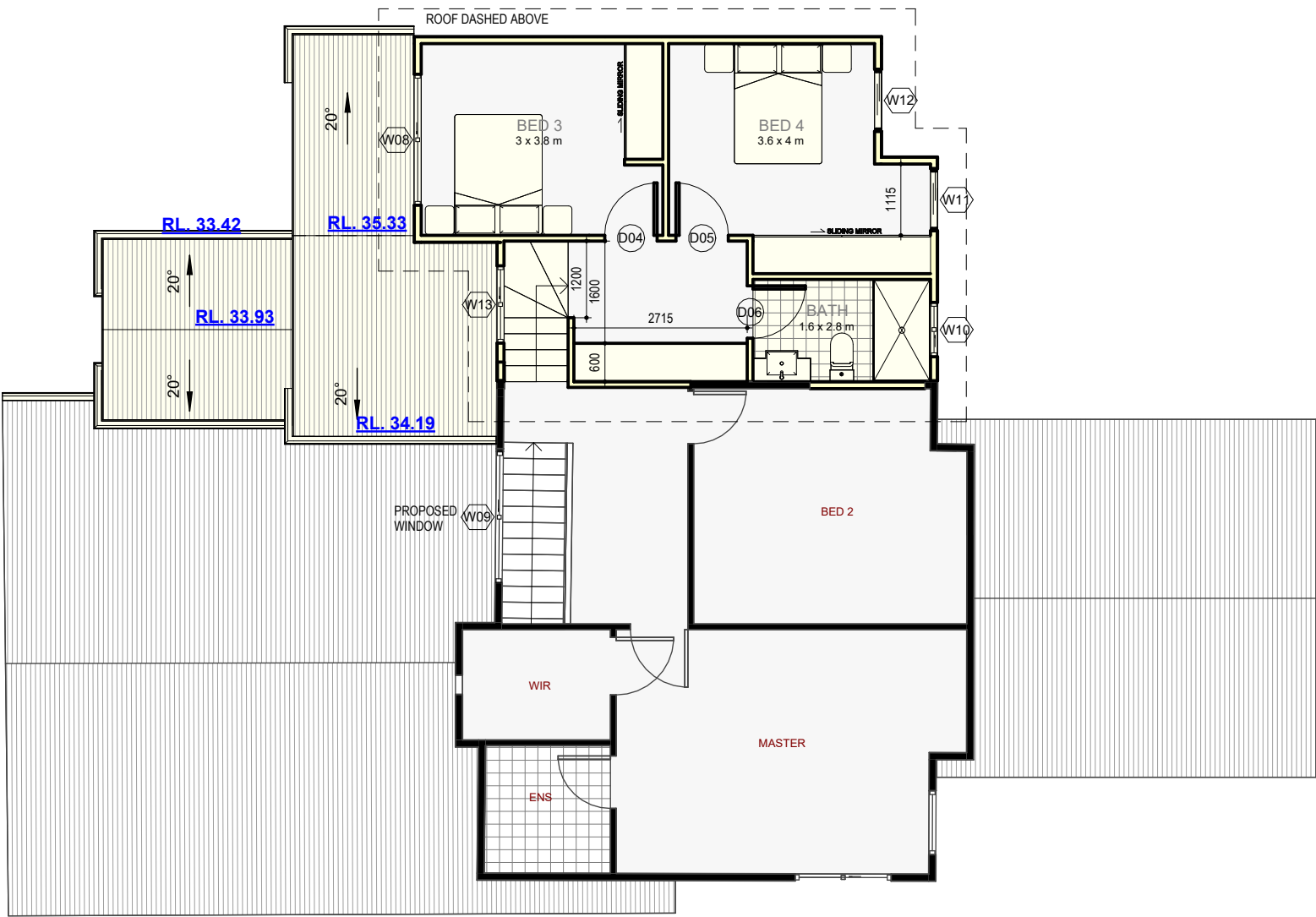
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DRAWN BY:

AAD

CHECKED BY:

GY



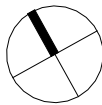
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A 104

05 -FIRST FLOOR

1 : 100

TRUE NORTH:



DESIGN FORMATION
ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF
NSW REGO: 11535

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PETER KAYROUZ

PROJECT TYPE:

ALTERATIONS & ADDITIONS

PROJECT ADDRESS:

6 LAMSON PL
GREENACRE 2190
LOT 6 / DP 224409 /

SHEET TITLE:

FIRST FLOOR

SHEET NO: A 104

PROJECT NO:

932

REV NO:

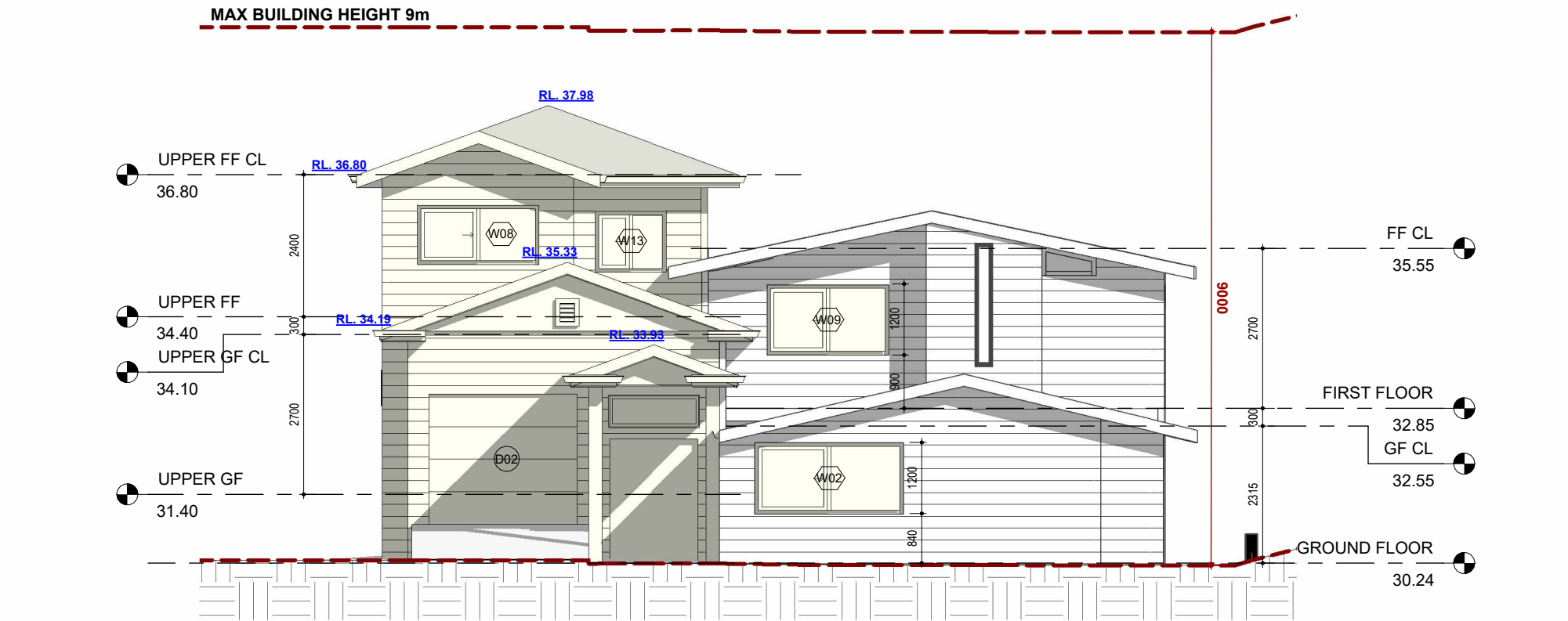
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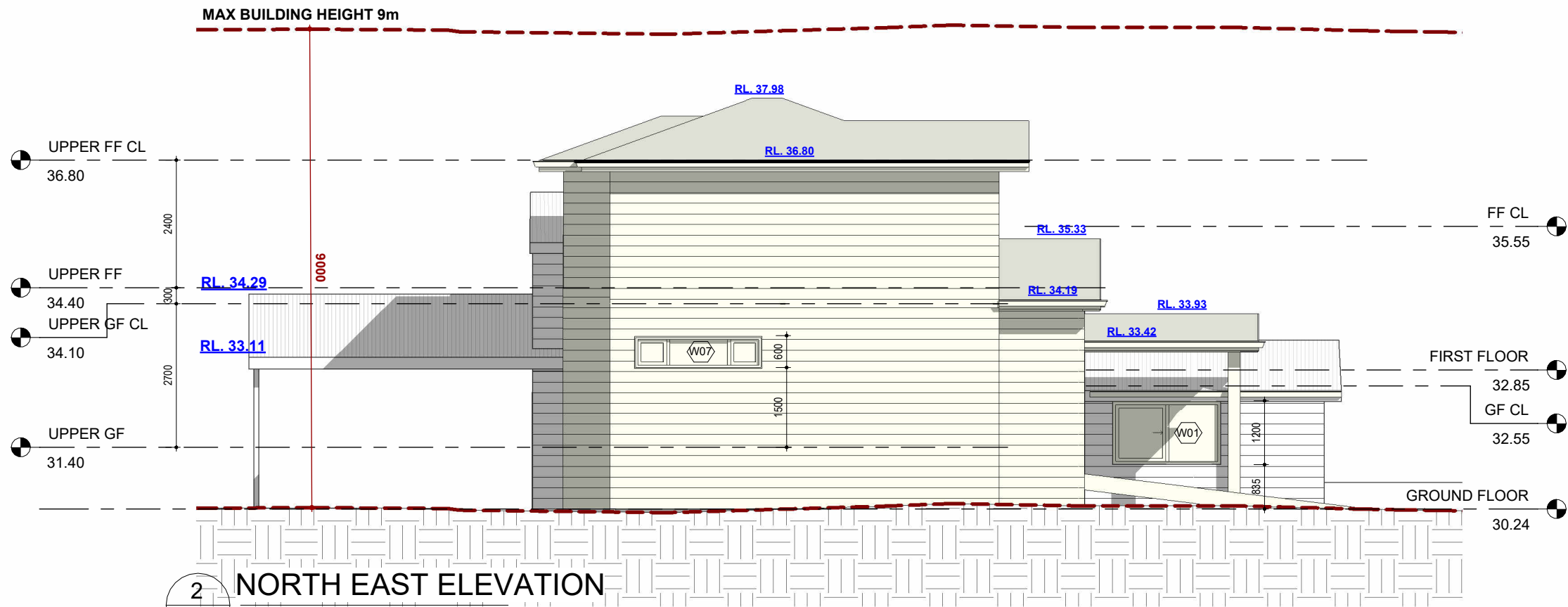
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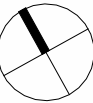


1 NORTH WEST ELEVATION
A 201 1 : 100



2 NORTH EAST ELEVATION
A 201 1 : 100

TRUE NORTH:



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ARCHITECTS

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PREPARED FOR:

PETER KAYROUZ

PROJECT TYPE:

ALTERATIONS & ADDITIONS

PROJECT ADDRESS:

6 LAMSON PL
GREENACRE 2190
LOT 6 / DP 224409 /

SHEET TITLE:

ELEVATIONS

SHEET NO: A 201

PROJECT NO:

932

REV NO:

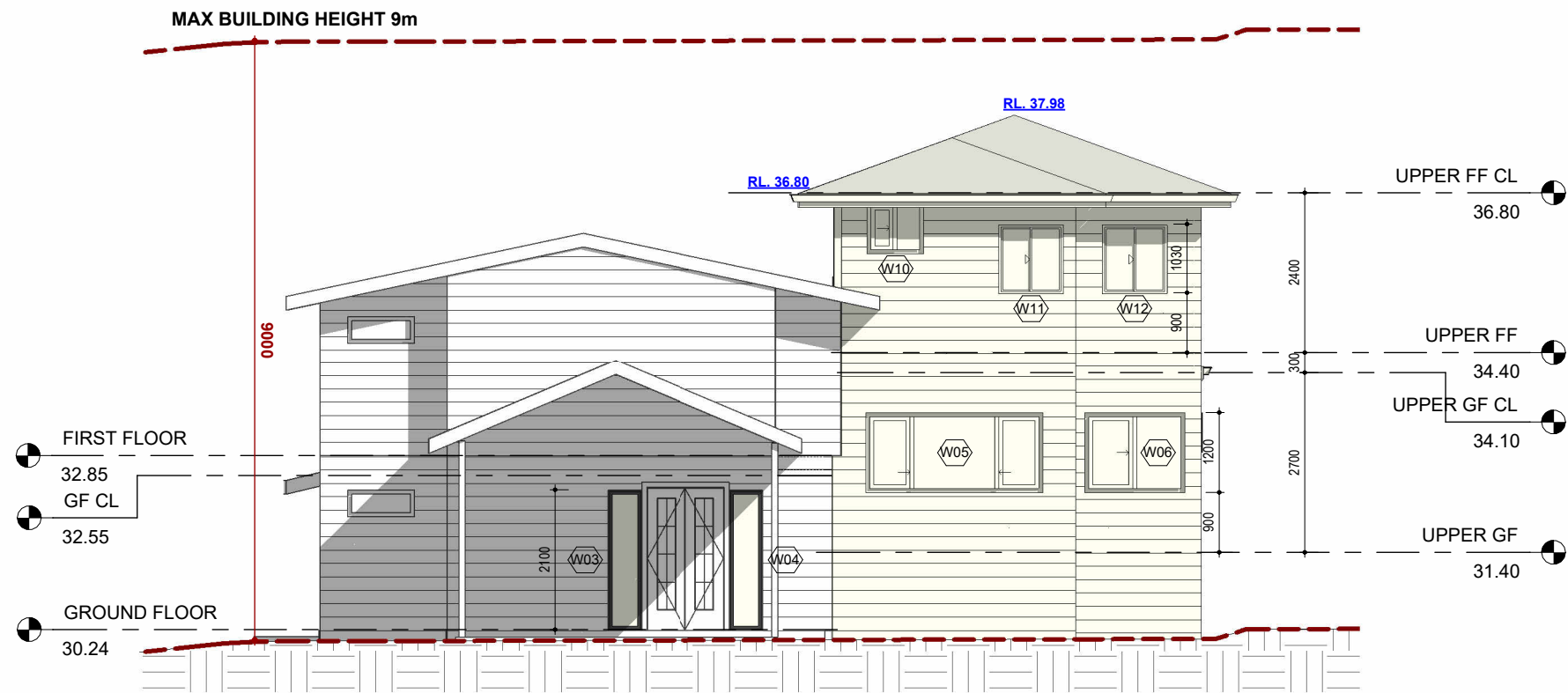
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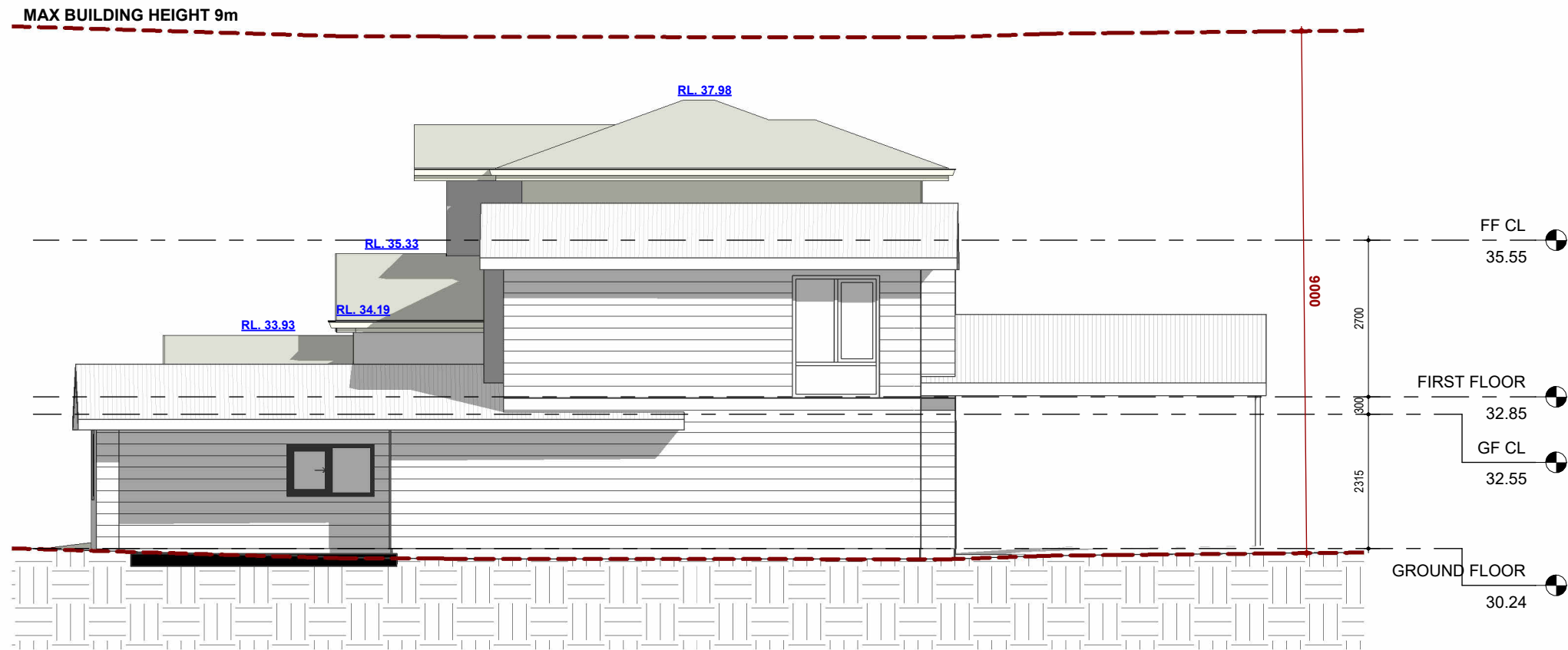
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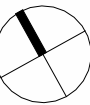


1 SOUTH EAST ELEVATION
A 202 1 : 100



2 SOUTH WEST ELEVATION
A 202 1 : 100

TRUE NORTH:



DESIGN FORMATION
ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF
NSW REGO: 11535

CONTACT:

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01	CONCEPT SKETCH	11-12-2023
ISSUE	AMENDMENT	DATE

PROJECT STATUS:

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APPLICATION**

PREPARED FOR:

PETER KAYROUZ

PROJECT TYPE:

ALTERATIONS & ADDITIONS

PROJECT ADDRESS:

6 LAMSON PL
GREENACRE 2190
LOT 6 / DP 224409 /

SHEET TITLE:

ELEVATIONS

SHEET NO: A 202

PROJECT NO:

932

REV NO:

03

DRAWN BY:

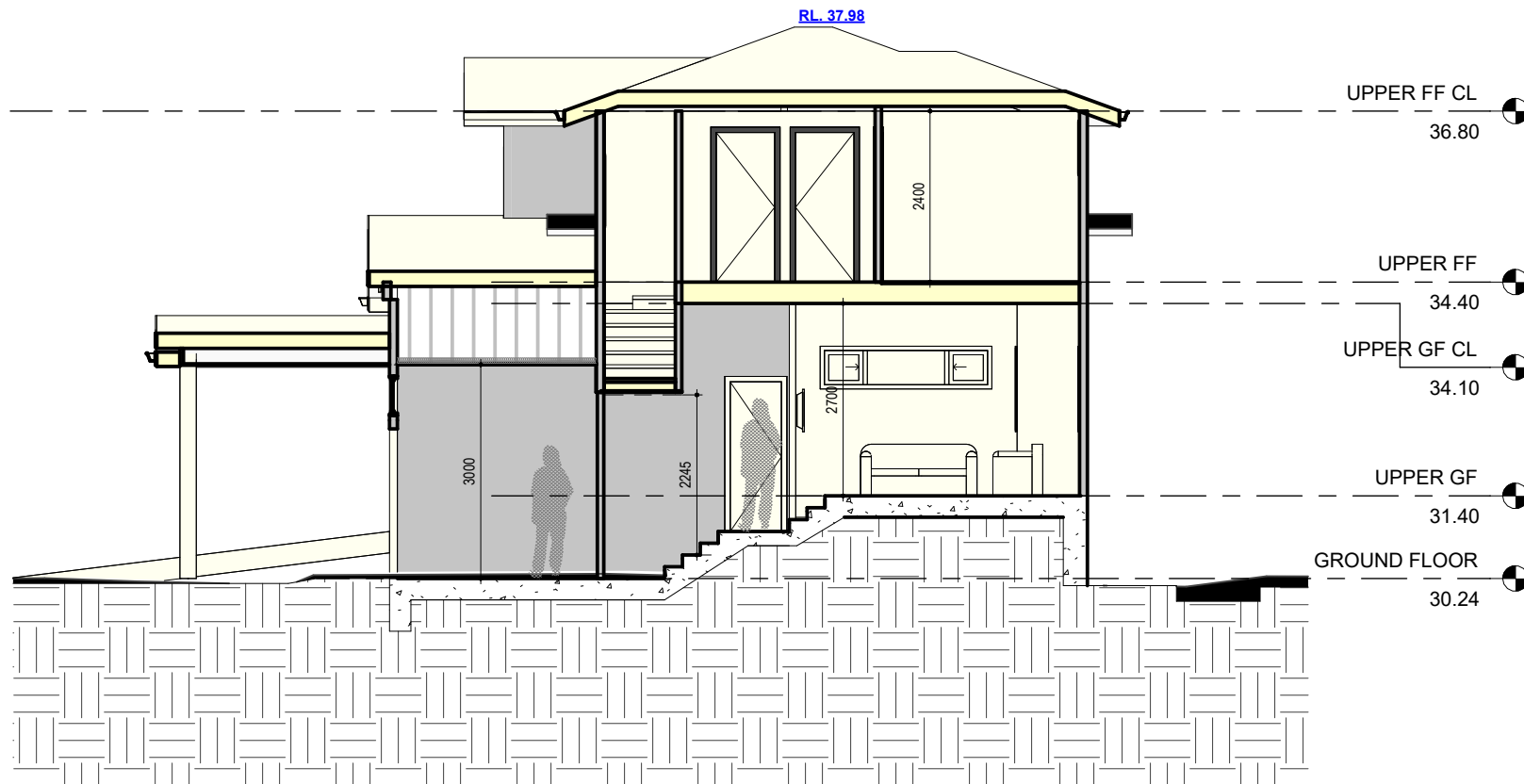
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CHECKED BY:

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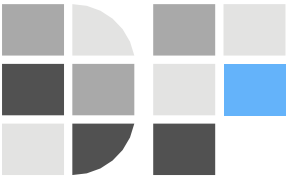
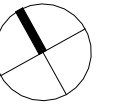


1 SECTION AA
A 203 1 : 100



2 SECTION BB
A 203 1 : 100

TRUE NORTH:



DESIGN FORMATION
ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF
NSW REGO: 11535

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**ISSUED FOR DEVELOPMENT
APPLICATION**

PREPARED FOR:
PETER KAYROUZ

PROJECT TYPE:
ALTERATIONS & ADDITIONS

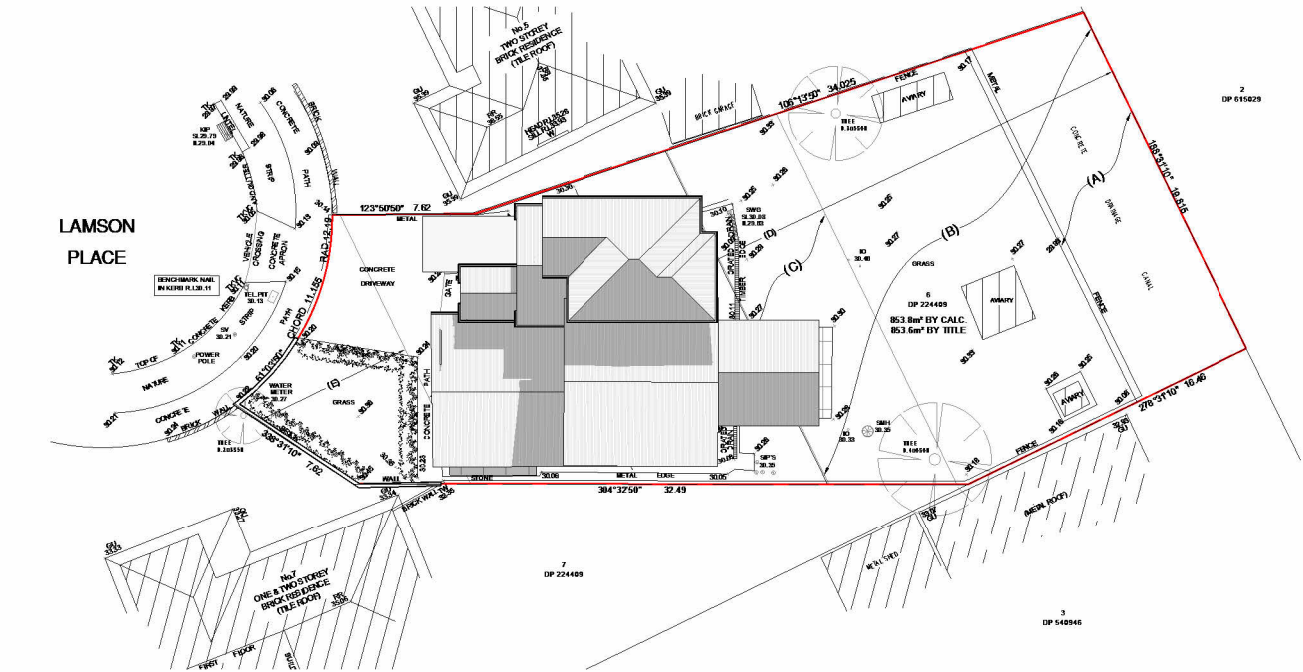
PROJECT ADDRESS:
6 LAMSON PL
GREENACRE 2190
LOT 6 / DP 224409 /

SHEET TITLE:
SECTION

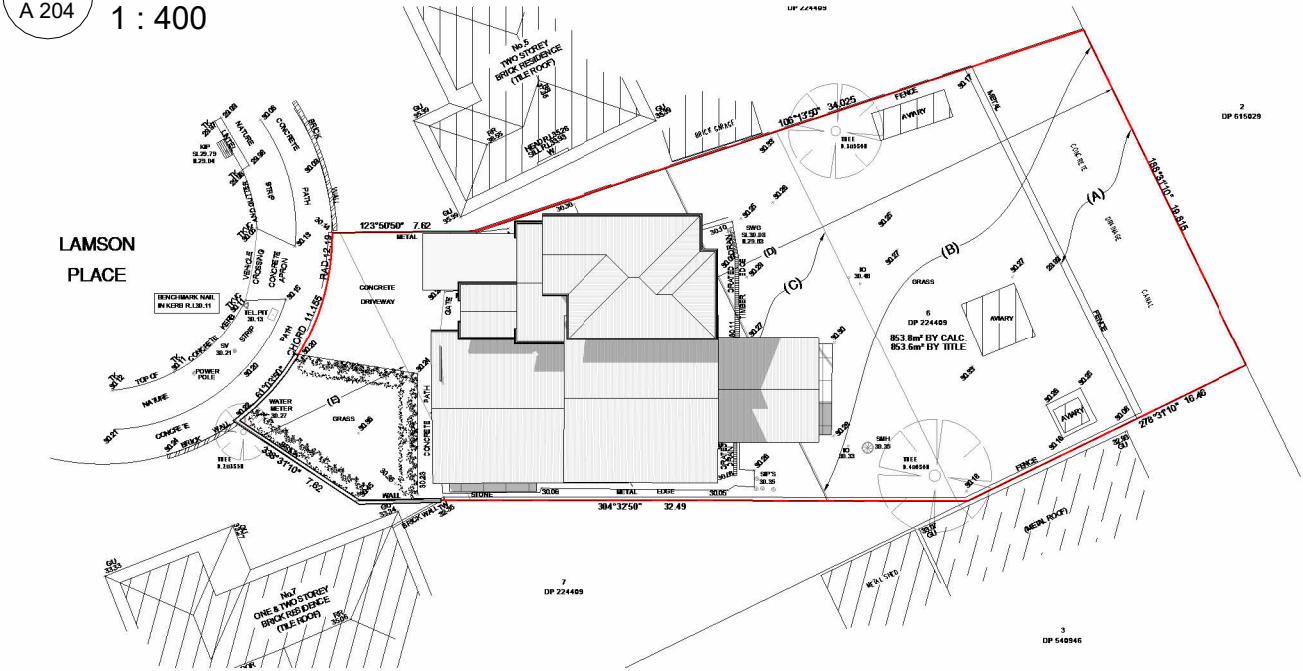
SHEET NO: A 203

PROJECT NO: 932
REV NO: 03

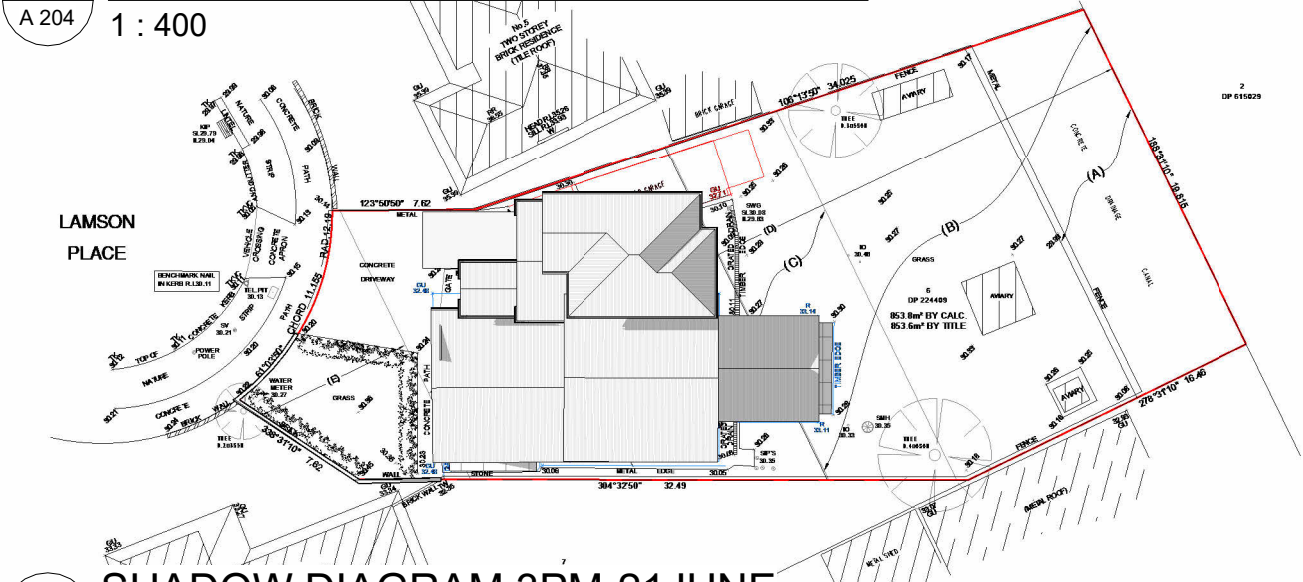
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CHECKED BY: GY



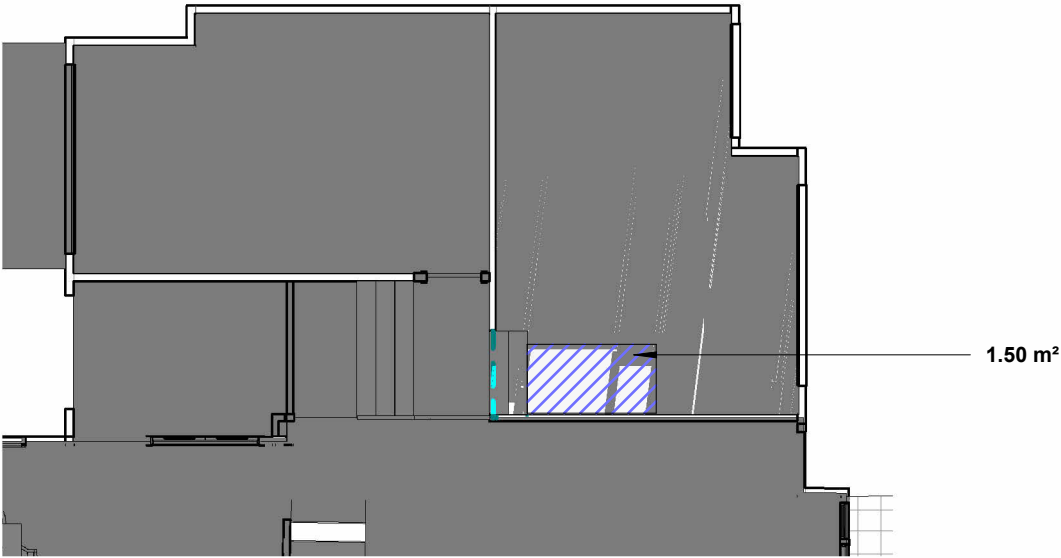
1 SHADOW DIAGRAM 9AM-21JUNE
1 : 400



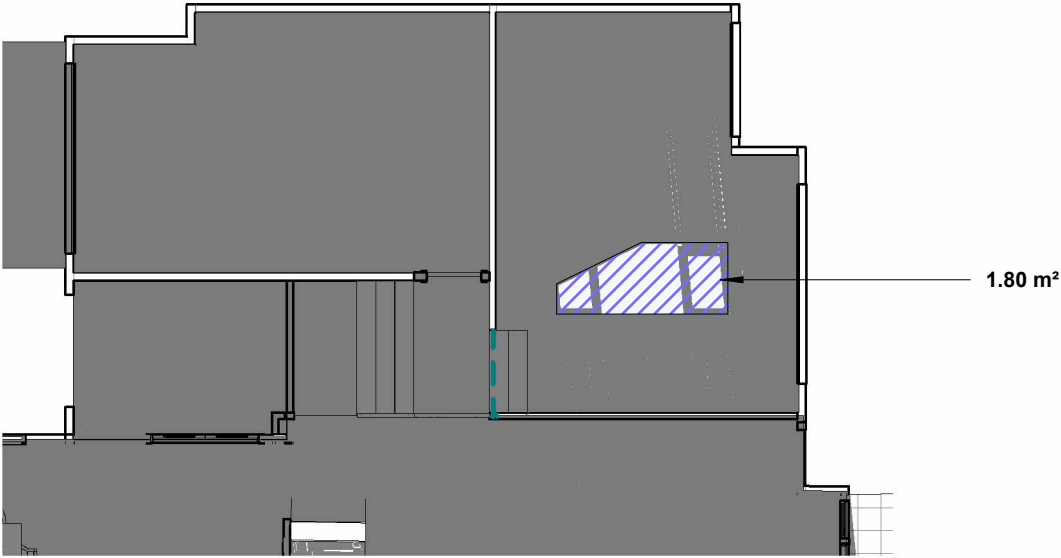
2 SHADOW DIAGRAM 12PM-21JUNE
1 : 400



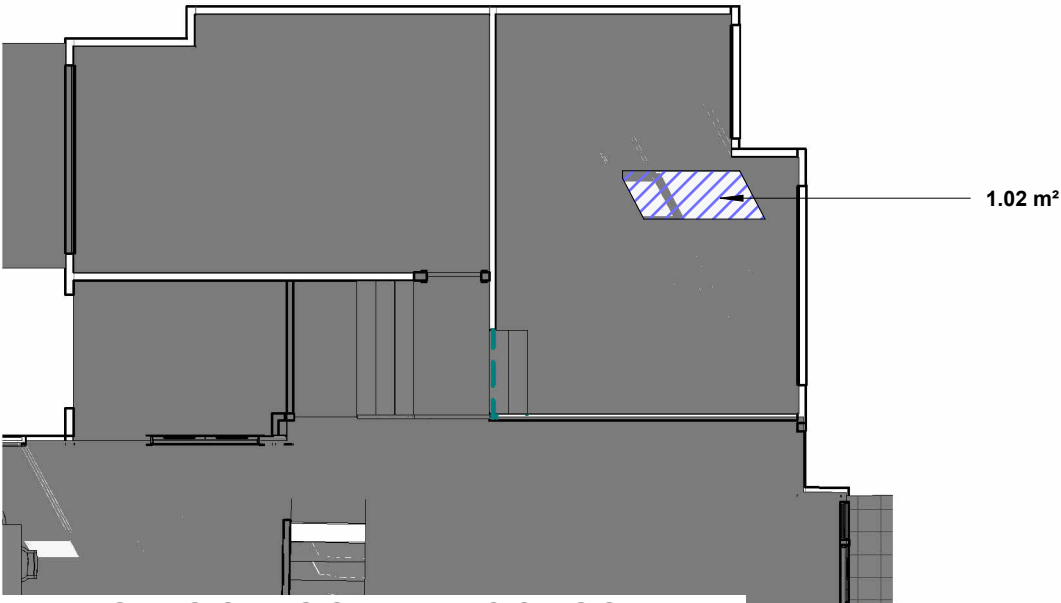
3 SHADOW DIAGRAM 3PM-21JUNE
1 : 400



4 LIVING ROOM SOLAR ACCESS 9AM
A 204

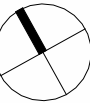


6 LIVING ROOM SOLAR ACCESS 10AM
A 204



5 LIVING ROOM SOLAR ACCESS 12PM
A 204

TRUE NORTH:



DESIGN FORMATION
ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF
NSW REGO: 11535

CONTACT:

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PARRAMATTA NSW 2150
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01	CONCEPT SKETCH	11-12-2023
ISSUE	AMENDMENT	DATE

PROJECT STATUS:

ISSUED FOR DEVELOPMENT
APPLICATION

PREPARED FOR:

PETER KAYROUZ

PROJECT TYPE:

ALTERATIONS & ADDITIONS

PROJECT ADDRESS:

6 LAMSON PL
GREENACRE 2190
LOT 6 / DP 224409 /

SHEET TITLE:

SHADOW DIAGRAMS

SHEET NO: A 204

PROJECT NO:

932

REV NO:

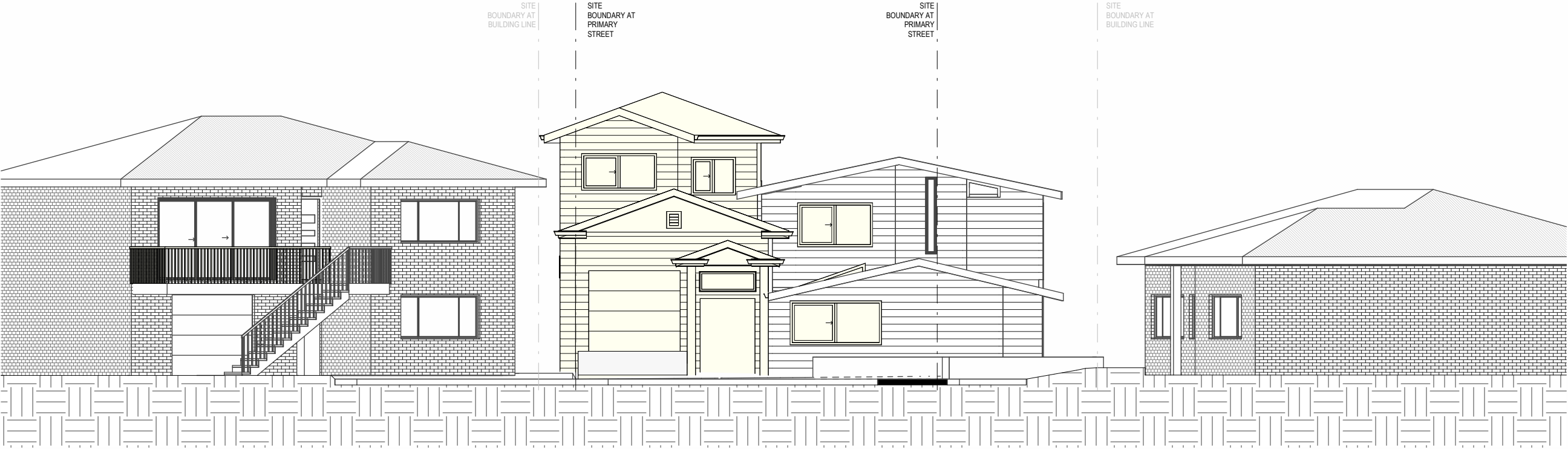
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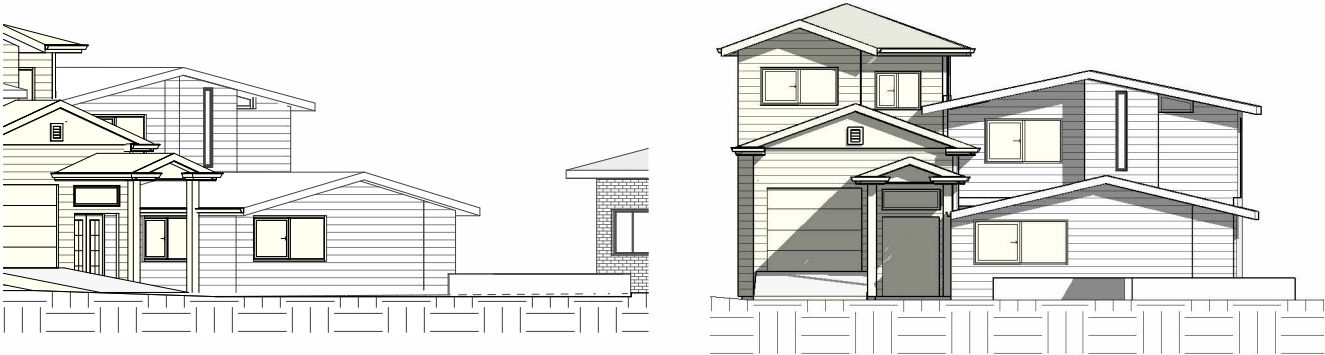
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CHECKED BY:

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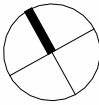


STREETSCAPE ELEVATION



2 FRONT FENCE ELEVATION
A 205 1 : 200

TRUE NORTH:



DESIGN FORMATION
ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF
NSW REGO: 11535

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**ISSUED FOR DEVELOPMENT
APPLICATION**

PREPARED FOR:

PETER KAYROUZ

PROJECT TYPE:

ALTERATIONS & ADDITIONS

PROJECT ADDRESS:

6 LAMSON PL
GREENACRE 2190
LOT 6 / DP 224409 /

SHEET TITLE:

STREETSCAPE ELEVATION

SHEET NO: A 205

PROJECT NO:

932

REV NO:

03

DRAWN BY:

AAD

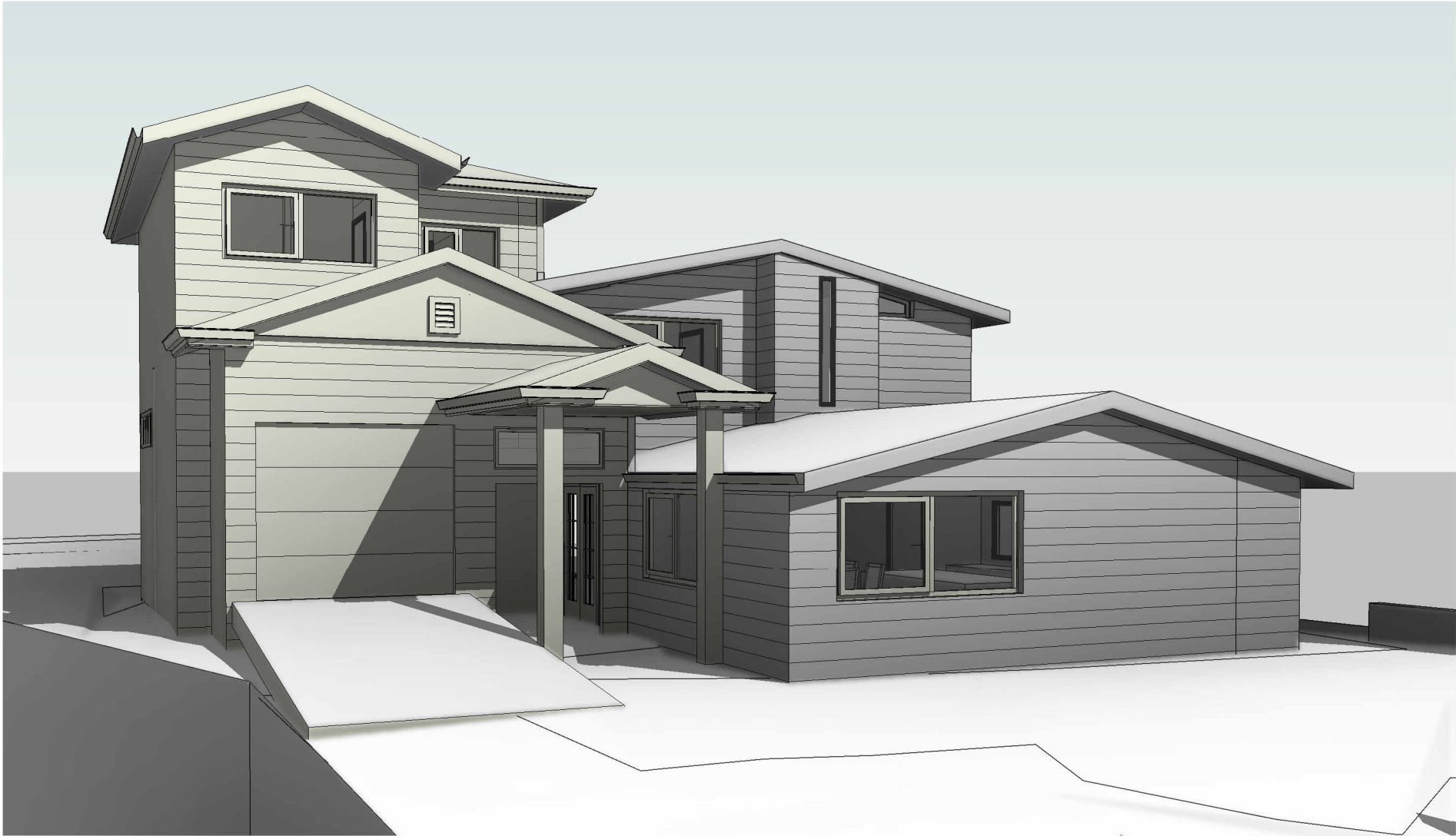
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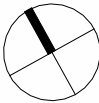
DOORS SCHEDULE			
MARK	HEIGHTS	WIDTH	DESCRIPTION
D01	2100	1430	DOUBLE SWING TIMBER FRAMED DOOR
D02	2200	2500	4 PANEL TILT/UP GARAGE DOOR
D03	2100	720	SINGLE SWING HOLLOW CORE TIMBER DOOR
D04	2100	820	SINGLE SWING HOLLOW CORE TIMBER DOOR
D05	2100	820	SINGLE SWING HOLLOW CORE TIMBER DOOR
D06	2100	820	SINGLE SWING HOLLOW CORE TIMBER DOOR
D09	2200	920	U1
Grand total: 7			

WINDOWS SCHEDULE			
MARK	HEIGHT	WIDTH	DESCRIPTION
W01	1200	2050	2 PANEL ALUMINIUM FRAMED GLASS SLIDING WINDOW
W02	1200	2500	2 PANEL ALUMINIUM FRAMED GLASS SLIDING WINDOW
W03	2100	500	1 PANEL ALUMINIUM FRAMED GLASS FIXED WINDOW
W04	2100	500	1 PANEL ALUMINIUM FRAMED GLASS FIXED WINDOW
W05	1200	2650	2 PANEL ALUMINIUM FRAMED GLASS SLIDING WINDOW
W06	1200	1500	2 PANEL ALUMINIUM FRAMED GLASS SLIDING WINDOW
W07	600	2410	3 PANEL ALUMINIUM FRAMED GLASS SLIDING WINDOW
W08	1000	2050	2 PANEL ALUMINIUM FRAMED GLASS SLIDING WINDOW
W09	1200	2050	2 PANEL ALUMINIUM FRAMED GLASS SLIDING WINDOW
W10	770	850	2 PANEL ALUMINIUM FRAMED GLASS SLIDING WINDOW
W11	1030	970	2 PANEL ALUMINIUM FRAMED GLASS SLIDING WINDOW
W12	1030	970	2 PANEL ALUMINIUM FRAMED GLASS SLIDING WINDOW
W13	1030	1210	2 PANEL ALUMINIUM FRAMED GLASS SLIDING WINDOW
Grand total:: 13			

ALL MATERIALS TO MATCH EXISTING STRUCTURE OR SIMILAR



TRUE NORTH:



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03	DEVELOPMENT APPLICATION ISSUE	01-05-2024
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ISSUE	AMENDMENT	DATE

PROJECT STATUS:

ISSUED FOR DEVELOPMENT
APPLICATION

PREPARED FOR:

PETER KAYROUZ

PROJECT TYPE:

ALTERATIONS & ADDITIONS

PROJECT ADDRESS:

6 LAMSON PL
GREENACRE 2190
LOT 6 / DP 224409 /

SHEET TITLE:

WINDOW/DOOR SCHEDULE

SHEET NO: A 301

PROJECT NO:

932

REV NO:

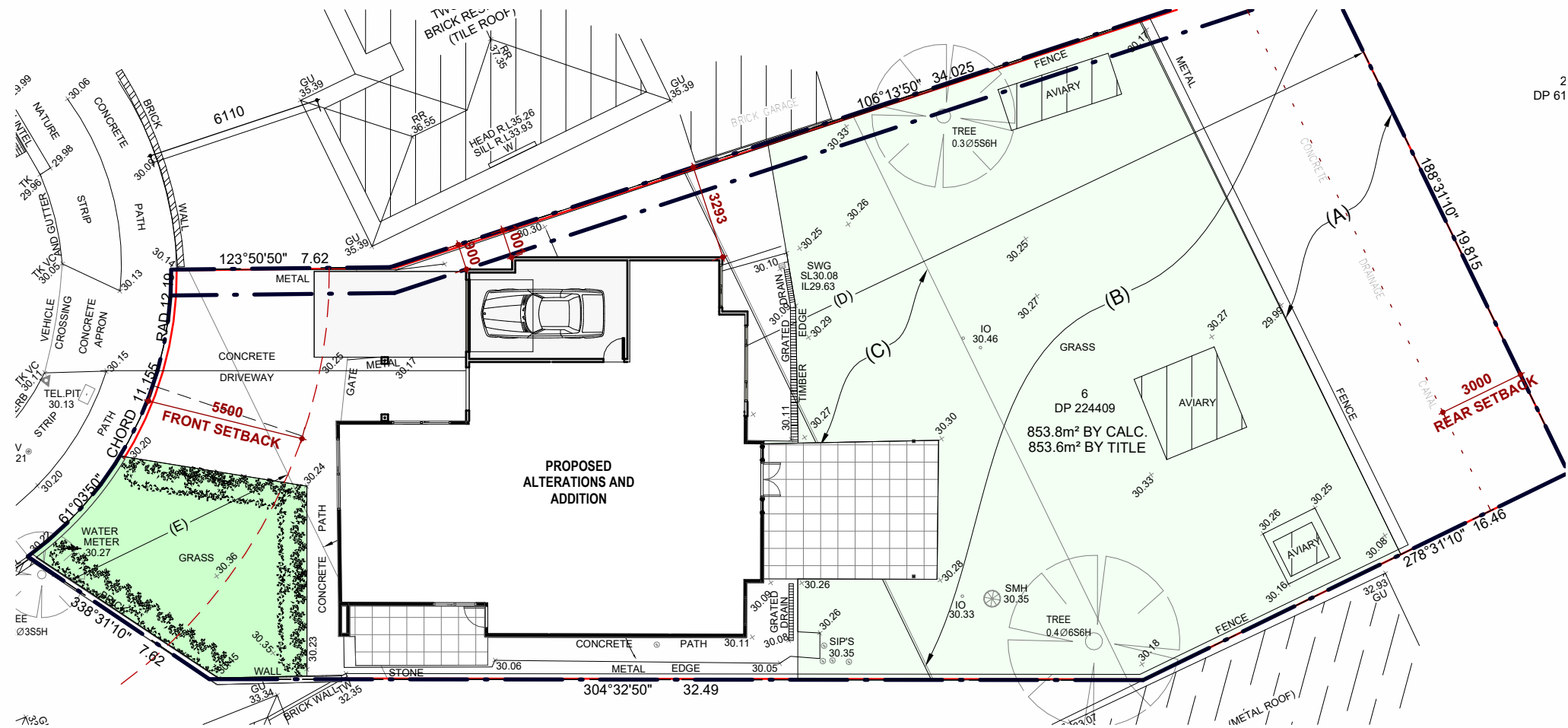
03

DRAWN BY:

NT

CHECKED BY:

GY



1 NP - SITE PLAN
A 401 1 : 200



3 NP - NORTH WEST ELEVATION
A 401 1 : 200



2 NP - NORTH EAST ELEVATION
A 401 1 : 200

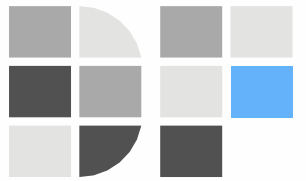
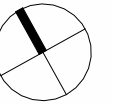


4 NP - SOUTH EAST ELEVATION
A 401 1 : 200



5 NP - SOUTH WEST ELEVATION
A 401 1 : 200

TRUE NORTH:



DESIGN FORMATION
ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF
NSW REGO: 11535

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PROJECT ADDRESS:

6 LAMSON PL
GREENACRE 2190
LOT 6 / DP 224409 /

SHEET TITLE:

NOTIFICATION PLAN

SHEET NO: A 401

PROJECT NO:

932

REV NO:

03

DRAWN BY:

AAD

CHECKED BY:

GY